

SUBDIVISION PLAT
ESTABLISHING
GRAMERCY VILLAGE
ENCLAVE

BEING 8.930 ACRES OUT OF A 18.086 ACRE TRACT OF LAND, RECORDED IN DOC# 20200246715 OF THE OFFICIAL PUBLIC RECORDS OF BEXAR COUNTY, TEXAS, OUT OF THE L. GONZABA SURVEY NUMBER 84, ABSTRACT NO. 253, COUNTY BLOCK 4408, BEXAR COUNTY, TEXAS ESTABLISHING LOTS 23-34 & LOTS 901-902, BLOCK 41, AND LOTS 16-37 & LOT 903 AND 999, BLOCK 43, BEXAR COUNTY, TEXAS.

CDS muery
ENGINEERS | SURVEYORS
100 NE Loop 410, Ste. 300 | San Antonio, Texas 78216
(210) 581-1111 | TBPE No. F-1733 | TBPLS No. 100495-00

DATE OF PREPARATION: January 20, 2022
CDS MUERY JOB 121041.00

OWNER / DEVELOPER:
MARTIN RICO, MANAGER
GRAMERCY VILLAGE, LLC
4007 MCCULLOUGH AVE., SUITE 231
SAN ANTONIO, TX 78212

STATE OF TEXAS
COUNTY OF BEXAR

THE OWNER OF LAND SHOWN ON THIS PLAT, IN PERSON OR THROUGH A DULY AUTHORIZED AGENT, DEDICATES TO THE USE OF THE PUBLIC, EXCEPT AREAS IDENTIFIED AS PRIVATE OR PART OF AN ENCLAVE OR PLANNED UNIT DEVELOPMENT, FOREVER ALL STREETS, ALLEYS, PARKS, WATERCOURSES, DRAINS, EASEMENTS AND PUBLIC PLACES THEREON SHOWN FOR THE PURPOSE AND CONSIDERATION THEREIN EXPRESSED.

MARTIN RICO, MANAGER
GRAMERCY VILLAGE, LLC
4007 MCCULLOUGH AVE., SUITE 231
SAN ANTONIO, TX 78212

STATE OF TEXAS
COUNTY OF BEXAR

BEFORE ME, THE UNDERSIGNED AUTHORITY ON THIS DAY PERSONALLY APPEARED MARTIN RICO KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED. GIVEN UNDER MY HAND AND

SEAL OF OFFICE THIS 2nd DAY OF February, A.D. 2022

Lynne H. Gardner
NOTARY PUBLIC, BEXAR COUNTY, TEXAS

THIS PLAT OF GRAMERCY VILLAGE ENCLAVE HAS BEEN SUBMITTED TO AND CONSIDERED BY THE PLANNING COMMISSION OF THE CITY OF SAN ANTONIO, TEXAS, IS HEREBY APPROVED BY SUCH COMMISSION IN ACCORDANCE WITH STATE OR LOCAL LAWS AND REGULATIONS; AND/OR WHERE ADMINISTRATIVE EXCEPTION(S) AND/OR VARIANCE(S) HAVE BEEN GRANTED.

DATED THIS _____ DAY OF _____, A.D. 20 _____

BY: _____ CHAIRMAN

BY: _____ SECRETARY

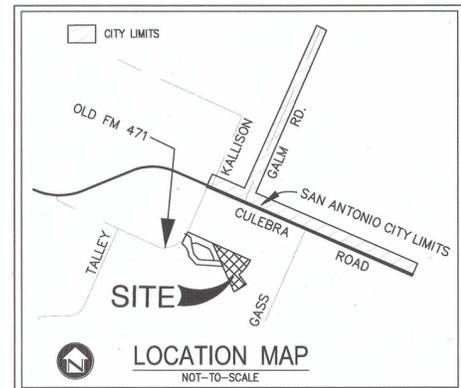
CERTIFICATE OF APPROVAL

THE UNDERSIGNED, COUNTY JUDGE OF BEXAR COUNTY, TEXAS AND PRESIDING OFFICER OF THE COMMISSIONERS COURT OF BEXAR COUNTY, DOES HEREBY CERTIFY THAT THE ATTACHED PLAT WAS DULY FILED WITH THE COMMISSIONERS COURT OF BEXAR COUNTY, TEXAS AND THAT AFTER EXAMINATION IT APPEARED THAT SAID PLAT IS IN CONFORMITY WITH THE STATUTE, RULES AND REGULATIONS GOVERNING SAME, AND THIS PLAT WAS APPROVED BY THE SAID COMMISSIONERS COURT.

DATED THIS _____ DAY OF _____, A.D. 20 _____

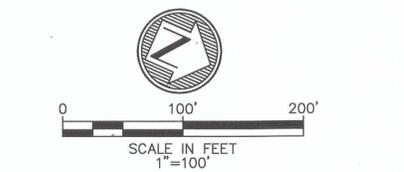
COUNTY JUDGE, BEXAR COUNTY, TEXAS

COUNTY CLERK, BEXAR COUNTY, TEXAS



LEGEND

AC	ACRE(S)	VOL	VOLUME
BLK	BLOCK	PG	PAGE(S)
DPR	DEED AND PLAT RECORDS OF BEXAR COUNTY, TEXAS	ROW	RIGHT-OF-WAY
OPR	OFFICIAL PUBLIC RECORDS (OFFICIAL PUBLIC RECORDS OF REAL PROPERTY) OF BEXAR COUNTY, TEXAS	DOC	DOCUMENT
EL	CENTER LINE	1140	EXISTING CONTOURS
ESMT	EASEMENT	1140	FINISHED CONTOURS
			C.B. COUNTY BLOCK
			● FOUND 1/2" IRON ROD UNLESS OTHERWISE NOTED
			○ SET 1/2" IRON ROD



EASEMENT KEYNOTES

1	10' BUILDING SETBACK LINE & GAS, ELECTRIC, TELEPHONE AND CABLE TV EASEMENT	3	25' SANITARY SEWER EASEMENT VOL. 20001, PGS. 2012-2020 D.P.R.
2	1' VEHICULAR NON-ACCESS EASEMENT	4	VARIABLE WIDTH DRAINAGE, WATER, SEWER, AND ACCESS EASEMENT TO EXPIRE UPON INCORPORATION INTO FUTURE PLATTED RIGHTS-OF-WAY VOL. 20001, PGS. 2012-2020 D.P.R.
3	24' PRIVATE DRAINAGE EASEMENT	5	50' WIDE RIGHT-OF-WAY LAVACA GATHERING CO. VOL. 9059, PG. 233 VOL. 8141, PG. 744 VOL. 6779, PG. 101, D.P.R.
4	14' GAS, ELECTRIC, TELEPHONE AND CABLE TV EASEMENT VOL. 20001, PGS. 2012-2020 D.P.R.	6	28' GAS, ELECTRIC, TELEPHONE AND CABLE TV EASEMENT VOL. 20001, PGS. 2021-2026 D.P.R.
5	VARIABLE WIDTH PUBLIC DRAINAGE EASEMENT VOL. 20001, PGS. 2012-2020 D.P.R.	7	10' GAS, ELECTRIC, TELEPHONE AND CABLE TV EASEMENT, WESTPOINTE NORTH U7A (ENCLAVE) VOL. 20002, PGS. 1228-1230, D.P.R.
		8	50' STREET GRADING EASEMENT (EASEMENT TO EXPIRE UPON INCORPORATION INTO PUBLIC STREET ROW) WESTPOINTE NORTH U7A PLAT (ENCLAVE) VOL. 20002, PGS. 1229-1230, D.P.R.

SAWS IMPACT FEE:
WATER AND/OR WASTEWATER IMPACT FEES WERE NOT PAID AT THE TIME OF PLATTING FOR THIS PLAT. ALL IMPACT FEES MUST BE PAID PRIOR TO WATER METER SET AND/OR WASTEWATER SERVICE CONNECTION.

SAWS HIGH PRESSURE NOTE:
A PORTION OF THE TRACT IS BELOW THE GROUND ELEVATION OF 985 FEET WHERE THE STATIC PRESSURE WILL NORMALLY EXCEED 80 PSI. AT SUCH LOCATIONS, THE DEVELOPER OR BUILDER SHALL INSTALL AT EACH LOT, ON THE CUSTOMER'S SIDE OF THE METER, AN APPROVED TYPE PRESSURE REGULATOR IN CONFORMANCE WITH THE PLUMBING CODE OF THE CITY OF SAN ANTONIO.

RESIDENTIAL FIRE FLOW NOTE:
THE PUBLIC WATER MAIN SYSTEM HAS BEEN DESIGNED FOR A MINIMUM FIRE FLOW DEMAND OF 1000 GPM AT 25 PSI RESIDUAL PRESSURE TO MEET THE CITY OF SAN ANTONIO'S FIRE FLOW REQUIREMENTS FOR THE RESIDENTIAL DEVELOPMENT. THE FIRE FLOW REQUIREMENTS FOR INDIVIDUAL STRUCTURES WILL BE REVIEWED PRIOR TO BUILDING PERMIT APPROVAL IN ACCORDANCE WITH THE PROCEDURES SET FORTH BY THE CITY OF SAN ANTONIO DIRECTOR OF DEVELOPMENT SERVICES AND THE SAN ANTONIO FIRE DEPARTMENT FIRE MARSHAL.

SAWS WASTEWATER EDU:
THE NUMBER OF WASTEWATER EQUIVALENT DWELLING UNITS (EDU'S) PAID FOR THIS SUBDIVISION PLAT ARE KEPT ON FILE UNDER THE PLAT NUMBER AT THE SAN ANTONIO WATER SYSTEM.

SAWS NOTE:
THE SAN ANTONIO WATER SYSTEM IS HEREBY GRANTED THE RIGHT OF INGRESS AND EGRESS ACROSS GRANTOR'S ADJACENT PROPERTY TO ACCESS THE WATER AND WASTEWATER EASEMENT(S) SHOWN ON THIS PLAT.

SAWS DEDICATION:
THE OWNER DEDICATES THE SANITARY SEWER AND/OR WATER MAINS TO THE SAN ANTONIO WATER SYSTEM UPON COMPLETION BY THE DEVELOPER AND ACCEPTANCE BY THE SAN ANTONIO WATER SYSTEM.

DRAINAGE EASEMENT ENCROACHMENTS
NO STRUCTURE, FENCES, WALLS OR OTHER OBSTRUCTIONS THAT IMPEDE DRAINAGE SHALL BE PLACED WITHIN THE LIMITS OF THE DRAINAGE EASEMENTS SHOWN ON THIS PLAT. NO LANDSCAPING OR OTHER TYPE OF MODIFICATIONS, WHICH ALTER THE CROSS-SECTIONS OF THE DRAINAGE EASEMENTS, AS APPROVED, SHALL BE ALLOWED WITHOUT THE APPROVAL OF THE DIRECTOR OF TO OR DIRECTOR OF PUBLIC WORKS. THE CITY OF SAN ANTONIO AND BEXAR COUNTY SHALL HAVE THE RIGHT OF INGRESS AND EGRESS OVER GRANTOR'S ADJACENT PROPERTY TO REMOVE ANY IMPEDING OBSTRUCTIONS PLACED WITHIN THE LIMITS OF SAID DRAINAGE EASEMENTS AND TO MAKE ANY MODIFICATIONS OR IMPROVEMENTS WITHIN SAID DRAINAGE EASEMENTS.

TREE NOTE:
THIS SUBDIVISION IS SUBJECT TO A MASTER TREE PLAN (APP#21-38801205) WHICH REQUIRES COMPLIANCE BY THE OWNERS OF ALL PROPERTY WITHIN THE PLAT BOUNDARY, AND THEIR EMPLOYEES AND CONTRACTORS, AND SHALL BE BINDING ON ALL SUCCESSORS IN TITLE EXCEPT FOR OWNERS OF SINGLE-FAMILY RESIDENTIAL LOTS SUBDIVIDED HEREUNDER FOR WHICH CONSTRUCTION OF A RESIDENTIAL STRUCTURE HAS BEEN COMPLETED. THE MASTER TREE PLAN IS ON FILE AT THE CITY OF SAN ANTONIO ARBORISTS OFFICE. NO TREES OR UNDERSTORY SHALL BE REMOVED WITHOUT PRIOR APPROVAL OF THE CITY ARBORIST OFFICE PER 35-177(V).

LEGAL INSTRUMENT
A LEGAL INSTRUMENT ESTABLISHING A PLAN FOR USE AND PERMANENT MAINTENANCE OF COMMON AREAS/FACILITIES DESIGNATED ON THIS PLAT IS BEING RECORDED ON THE SAME DATE AS THIS PLAT.

DETENTION POND NOTE:
STORM WATER DETENTION IS REQUIRED FOR THIS PROPERTY AND IS ACCOUNTED FOR IN AN OFFSITE DETENTION POND LOCATED IN LOT 901, BLOCK 15, C.B. 4408, WESTPOINTE NORTH UNIT 1A, RECORDED IN VOLUME 20001, PAGES 2021-2026, D.P.R. (PLAT #19-1180064)

CLEAR VISION NOTE:
CLEAR VISION AREAS MUST BE FREE OF VISUAL OBSTRUCTIONS IN ACCORDANCE WITH THE AMERICAN ASSOCIATION OF STATE HIGHWAY AND TRANSPORTATION OFFICIALS (AASHTO) POLICY ON GEOMETRIC DESIGN OF HIGHWAYS AND STREETS, OR LATEST REVISION THEREOF.

CPIS/SAWS/CPISA UTILITY (RESIDENTIAL):
1. THE CITY OF SAN ANTONIO AS PART OF ITS ELECTRIC, GAS, WATER, AND WASTEWATER SYSTEMS - CITY PUBLIC SERVICE BOARD (CPS ENERGY) AND SAN ANTONIO WATER SYSTEM (SAWS) - IS HEREBY DEDICATED EASEMENTS AND RIGHTS-OF-WAY FOR UTILITY, TRANSMISSION AND DISTRIBUTION INFRASTRUCTURE AND SERVICE FACILITIES IN THE AREAS DESIGNATED ON THIS PLAT AS "ELECTRIC EASEMENT," "ANCHOR EASEMENT," "SERVICE EASEMENT," "OVERHEAD EASEMENT," "UTILITY EASEMENT," "GAS EASEMENT," "TRANSFORMER EASEMENT," "WATER EASEMENT," "SANITARY SEWER EASEMENT" AND/OR "RECYCLED WATER EASEMENT" FOR THE PURPOSE OF INSTALLING, CONSTRUCTING, RECONSTRUCTING, MAINTAINING, REMOVING, INSPECTING, PATROLLING, AND ERECTING UTILITY INFRASTRUCTURE AND SERVICE FACILITIES FOR THE REASONS DESCRIBED ABOVE. CPS ENERGY AND SAWS SHALL ALSO HAVE THE RIGHT TO RELOCATE SAID INFRASTRUCTURE AND SERVICE FACILITIES WITHIN EASEMENT AND RIGHT-OF-WAY AREAS, TOGETHER WITH THE RIGHT OF INGRESS AND EGRESS OVER GRANTOR'S ADJACENT LANDS FOR THE PURPOSE OF ACCESSING SUCH INFRASTRUCTURE AND SERVICE FACILITIES AND THE RIGHT TO REMOVE FROM SAID LANDS ALL TREES OR PARTS THEREOF, OR OTHER OBSTRUCTIONS WHICH ENDANGER OR MAY INTERFERE WITH THE EFFICIENCY OF WATER, SEWER, GAS, AND/OR ELECTRIC INFRASTRUCTURE AND SERVICE FACILITIES. NO BUILDINGS, STRUCTURES, CONCRETE SLABS, OR WALLS WILL BE PLACED WITHIN EASEMENT AREAS WITHOUT AN ENCROACHMENT AGREEMENT WITH THE RESPECTIVE UTILITY. 2. ANY CPS ENERGY OR SAWS MONETARY LOSS RESULTING FROM MODIFICATIONS REQUIRED OF CPS ENERGY OR SAWS INFRASTRUCTURE AND SERVICE FACILITIES, LOCATED WITHIN SAID EASEMENTS, DUE TO GRADE CHANGES OR GROUND ELEVATION ALTERATIONS SHALL BE CHARGED TO THE PERSON OR PERSONS DEEMED RESPONSIBLE FOR SAID GRADE CHANGES OR GROUND ELEVATION ALTERATIONS. 3. THIS PLAT DOES NOT AMEND, ALTER, RELEASE OR OTHERWISE AFFECT ANY EXISTING ELECTRIC, GAS, WATER, SEWER, DRAINAGE, TELEPHONE, CABLE TV EASEMENTS OR ANY OTHER EASEMENTS FOR UTILITIES UNLESS THE CHANGES TO SUCH EASEMENTS ARE DESCRIBED HEREON. 4. CONCRETE DRIVEWAY APPROACHES ARE ALLOWED WITHIN THE FIVE (5) AND TEN (10) FOOT WIDE ELECTRIC AND GAS EASEMENTS WHEN LOTS ARE SERVED ONLY BY UNDERGROUND ELECTRIC AND GAS FACILITIES. 5. ROOF OVERHANGS ARE ALLOWED WITHIN THE FIVE (5) AND TEN (10) FOOT WIDE ELECTRIC AND GAS EASEMENTS WHEN ONLY UNDERGROUND ELECTRIC AND GAS FACILITIES ARE PROPOSED OR EXISTING WITHIN THOSE FIVE (5) AND TEN (10) FOOT WIDE EASEMENTS. 6. RESIDENTIAL FINISHED FLOOR ELEVATION: RESIDENTIAL FINISHED FLOOR ELEVATIONS MUST BE A MINIMUM OF EIGHT (8) INCHES ABOVE FINAL ADJACENT GRADE. 7. SETBACK NOTE: THE SETBACKS IMPOSED ON THIS PLAT ARE AT THE DISCRETION OF THE DEVELOPER OR BEXAR COUNTY AND ARE NOT SUBJECT TO ENFORCEMENT BY THE CITY OF SAN ANTONIO. 8. PRIVATE STREET DESIGNATION: LOT 999, BLOCK 43, C.B. 4408, IS A PRIVATE STREET AND IS DESIGNATED AS AN UNDERGROUND AND AT-GRADE INFRASTRUCTURE AND SERVICE FACILITIES EASEMENT FOR GAS, ELECTRIC, STREET LIGHT, TELEPHONE CABLE TELEVISION, DRAINAGE, PEDESTRIAN, PUBLIC WATER, WASTEWATER, AND RECYCLED WATER MAINS. 9. OPEN SPACE: LOT 901, BLOCK 41, AND LOTS 903, BLOCK 43, C.B. 4408 ARE DESIGNATED AS OPEN SPACE, DRAINAGE, GAS, ELECTRIC, TELEPHONE AND CABLE TV EASEMENT, (PERMEABLE); LOT 902, BLOCK 41, IS DESIGNATED AS OPEN SPACE, DRAINAGE & LOT 20, BLOCK 43, IS DESIGNATED AS OPEN SPACE, DRAINAGE, PARK (NON PERMEABLE). 10. COMMON AREA MAINTENANCE: THE MAINTENANCE OF ALL PRIVATE STREETS, OPEN SPACE, GREENBELTS, PARKS, TREE SAVE AREAS, (INCLUDING LOTS 901 & 902, BLOCK 41 AND LOTS 20, 903, AND 999-BLOCK 43) DRAINAGE EASEMENTS AND EASEMENTS OF ANY OTHER NATURE WITHIN THIS SUBDIVISION SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNERS, OR THE PROPERTY OWNERS' ASSOCIATION, OR ITS SUCCESSORS OR ASSIGNS AND NOT THE RESPONSIBILITY OF THE CITY OF SAN ANTONIO OR BEXAR COUNTY. 11. FLOODPLAIN VERIFICATION NOTE: NO PORTION OF THE FEMA 1% ANNUAL CHANCE (100-YEAR) FLOODPLAIN EXISTS WITHIN THIS PLAT AS VERIFIED BY FEMA MAP PANEL: 48020105G, EFFECTIVE SEPTEMBER 29, 2010. FLOODPLAIN INFORMATION IS SUBJECT TO CHANGE AS A RESULT OF FUTURE FEMA MAP REVISIONS AND/OR AMENDMENTS.

MM MEALS MYERS
ENGINEERING & SURVEYING LLC

7BPLS #10194291
TBPE #18576
7711 ECKERT RD, SUITE 108
SAN ANTONIO, TX 78240
(210)236-7382



CURVE TABLE

CURVE #	LENGTH	RADIUS	DELTA	CHORD	CHORD BEARING
C1	417.00'	870.00'	27°27'46"	413.02'	S38°27'51"W
C2	263.99'	1140.00'	13°15'59"	263.37'	S58°51'42"W
C3	94.44'	350.00'	15°27'37"	94.16'	N31°30'39"W
C4	77.09'	100.00'	44°10'17"	75.20'	N01°41'42"W
C5	314.95'	750.00'	24°03'38"	312.84'	N40°07'48"E
C6	101.19'	375.00'	15°27'37"	100.88'	N31°30'39"W
C7	72.76'	125.00'	33°21'06"	71.74'	N07°06'17"W
C8	282.44'	725.00'	20°44'26"	281.01'	N41°47'24"E
C9	290.89'	775.00'	21°30'20"	289.19'	S41°24'27"W
C10	15.16'	325.00'	2°40'23"	15.16'	S37°54'16"E
C11	60.20'	125.00'	27°35'35"	59.62'	N80°00'57"E
C12	36.12'	75.00'	27°35'35"	35.77'	N80°00'57"E

LINE TABLE

LINE #	LENGTH	DIRECTION
L1	35.40'	N24°28'49"W
L2	28.65'	N23°39'34"W
L3	61.27'	S85°29'42"W
L4	20.10'	N09°58'21"E
L5	15.80'	N28°48'06"W
L6	36.61'	N85°45'42"W
L7	30.00'	N24°14'18"E
L8	12.31'	N75°48'37"W
L9	30.26'	N09°38'07"W
L10	24.19'	N85°45'42"W
L11	30.00'	N24°14'18"E
L12	30.00'	S24°14'18"W
L13	34.05'	N85°45'42"W
L14	27.03'	S82°50'13"W
L15	14.41'	S08°41'13"W
L16	30.48'	N50°45'33"E
L17	11.41'	N22°56'20"E
L18	10.99'	N70°15'06"W
L19	9.57'	N79°01'19"W
L20	10.03'	N10°58'41"E
L21	50.00'	N66°20'37"E
L22	50.00'	N66°20'37"E
L23	55.27'	N52°09'37"E
L24	14.14'	N88°46'50"W
L25	14.14'	N21°13'10"E
L26	66.42'	S39°42'27"E
L27	16.03'	N52°09'37"E
L28	22.37'	N52°09'37"E

STATE OF TEXAS
COUNTY OF BEXAR

I HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN THIS PLAT TO THE MATTERS OF STREETS, LOTS, AND DRAINAGE LAYOUT. TO THE BEST OF MY KNOWLEDGE THIS PLAT CONFORMS TO ALL THE REQUIREMENTS OF THE UNIFIED DEVELOPMENT CODE, EXCEPT FOR THOSE VARIANCES GRANTED BY THE SAN ANTONIO PLANNING COMMISSION.

Brian A. Crowell
BRIAN A. CROWELL
LICENSED PROFESSIONAL ENGINEER NO. 82619

STATE OF TEXAS
COUNTY OF BEXAR

I HEREBY CERTIFY THAT THE ABOVE PLAT CONFORMS TO THE MINIMUM STANDARDS SET FORTH BY THE TEXAS BOARD OF PROFESSIONAL LAND SURVEYING ACCORDING TO AN ACTUAL SURVEY MADE ON THE GROUND BY: PAUL L. MYERS

Paul L. Myers
PAUL L. MYERS
REGISTERED PROFESSIONAL LAND SURVEYOR NO. 6490

SURVEYOR'S NOTES:

- COORDINATES SHOWN ARE BASED ON TEXAS COORDINATE SYSTEM, NAD 83 (2011) EPOCH; 2010 TEXAS SOUTH CENTRAL ZONE 4204.
- DISTANCES SHOWN HEREON ARE SURFACE AND COORDINATES SHOWN HEREON ARE GRID. SURFACE=GRID X 1.00017
- SET 1/2" IRON RODS WITH ORANGE PLASTIC CAP STAMPED, "MMES RPLS 6490" AT ALL PROPERTY/LOT CORNERS UNLESS OTHERWISE NOTED.

33 DUPLEX LOTS RESIDENTIAL LOTS

